

ARCHITECTURAL ASSURANCE GUIDELINES

QC's Architectural Assurance Coordinators create guidelines that support our community vision and ensure the unique character is maintained through to completion of the community. The guidelines provide detailed descriptions of important features and elements for the homes within the community that will establish the future streetscape and overall community image.

A variety of housing styles were chosen to evoke images of traditional neighbourhoods and create a sense of place; these include English Cottage, Prairie, Colonial, Tudor, Alpine and Craftsman (Arts & Crafts). Stone detailing, steeply gabled and hipped roofs, along with dormer, vertical and square window forms will be prevalent.

STREETSCAPE

Setbacks: Phase 1

R-1SL

As per City of Airdrie Bylaw, the front setback for detached garage product properties is a minimum 1.2 m to a maximum 3.5 m from front property line, and a minimum 8.0 m from rear property line. QC will accept a minimum 3.0 m and maximum 3.5 m front setback.

All homes will have a builder constructed front entry walkway of poured-in-place concrete, with at minimum, broom finish. Concrete tiles are not an acceptable alternative.

Rear garages on corner lots, attached or detached, must be constructed at the time of house construction; all garage materials must be consistent with materials used for the home. On remaining lots, when the builder does not construct a garage in conjunction with the home, the builder must provide a rear concrete parking pad (minimum 20 ft by 20 ft).

R-1S

As per City of Airdrie Bylaw, the front setback for attached garage product properties is a minimum 5.0 m from front property line and minimum 8.0 m from rear property line. QC will accept 5 – 6 m front setbacks.

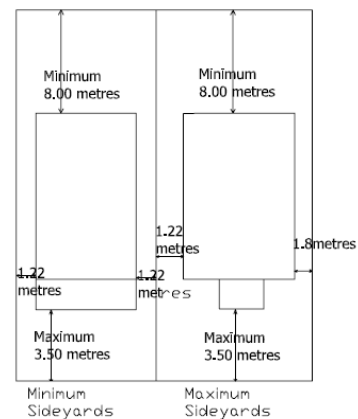
Repetition of Exterior Design: House Elevations/ Building Forms and Colours

QC recognizes the importance of providing unique architecture for home buyers. Home designs that incorporate the same historical motif (Prairie, English Cottage, Craftsman, etc.), the same elevation, building form and/or colour palette must comply with the rules below:

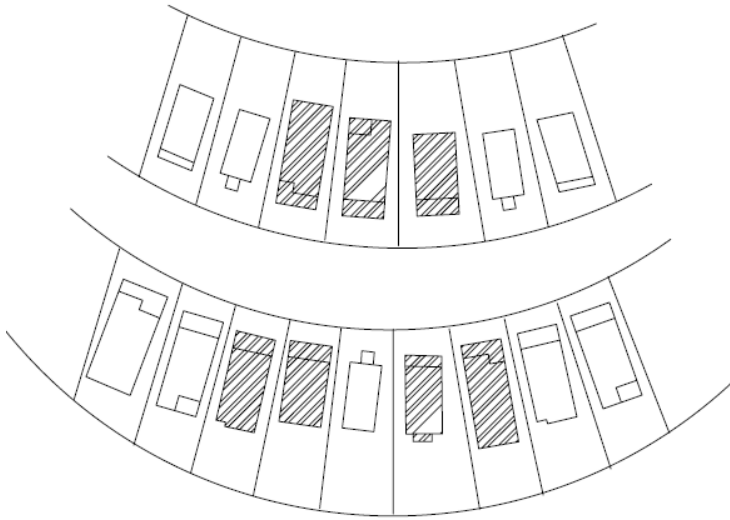
- 1) Be constructed no closer than every third lot on the same side of the street;
- 2) Be constructed within three lots, directly across from the lot in question, on the opposite side of the street.

Setbacks

Ravenswood Phase 1 – Rear Garage Product
Minimum sideyards 1.22 either side
Maximum combined sideyards 10'



Ravenswood Repetition



The Architectural Assurance Coordinators retain the right to decide how often an exterior may be repeated within any given phase.

Repetition rules within cul-de-sacs are at the discretion of QC and may not adhere to the standard repetition allowances listed above.

THE BUILDING SITE

R-1SL Product Design

Residential Single Dwelling Small Lot Laned District (R-1SL)

Land Use Requirements:

- Single-detached dwellings on lots which are accessed and serviced by rear lanes
- Minimum width of site: 9.15 m (30 ft)
- Minimum area of site: 321 m² (3,455 sq ft)
- Maximum height: 10 m (32.8 ft)

Massing and Sideyards:

The massing in Ravenswood is important; the minimum side yard, as per City of Airdrie Bylaw, is 1.2 m (4 ft) on either side to a maximum of 10 ft combined. The overall building height allowed is 10 m, according to the Bylaw.

Site Coverage Maximums:

- Principle buildings (no garage): 40%
- Principle buildings (garage attached): 55%
- Accessory buildings: 15%
- Total principle and accessory buildings: 55%

Minimum Home Sizes:

Bungalow – 800 sq ft

Bi-level – 800 sq ft

Two-storey – 1,200 sq ft (combined main and upper floors)

R-1S Product Design

Residential Single Dwelling Small Lot District (R-1S)

Land Use Requirements:

- Single-detached dwellings
- Minimum width of site: 11 m (36 ft)
- Minimum area of site: 361 m² (3,886 sq ft)
- Maximum height: 10 m (32.8 ft)

Massing and Sideyards:

The massing in Ravenswood is important; the minimum side yard, as per City of Airdrie Bylaw, at 1.2 m (4 ft) on either side to a maximum of 10 ft combined. The overall building height allowed is 10 m, according to the Bylaw.

Site Coverage maximums:

- Principle buildings (no garage): 40%
- Principle buildings (garage attached): 45%
- Accessory buildings: 15%
- Total principle and accessory buildings: 45%

House/Garage Ratio: The ratio between the front exposure of the garage and the remainder of the front principle building shall not exceed 2:1.

Minimum Home Sizes:

Bungalow – 1,200 sq ft

Bi-level – 1,200 sq ft

Two-storey – 1,800 sq ft (combined main and upper floors)

ARCHITECTURAL DETAILS

Signature elements for each style are listed below:

Refer to appendix for further detail.

Craftsman (Arts & Crafts)

- Tapered columns and window battens
- Knee braces
- False beams
- Trusses
- Panels
- Vertical gable battens
- Varying style and pitched roofs
- Front verandahs

Prairie

- Cube-ish square forms (block on block)
- Hipped roof and front dormers
- Front porchs; ranging from wrapped to simple stoops
- Windows usually grouped in pairs, rectangular
- Low pitched roof with widely overhanging eaves

Tudor

- Steeply pitched rooflines
- Multiple open gables with heavy detailing
- Arches/Porticos
- Masonry products important element of the home
- Decorative half timbering
- Taller, narrower windows

Colonial

- Symmetrical placement of windows
- Taller, narrower windows
- Shutters
- Columns typically Ionic, Tuscan or Doric style
- Dentil molding

Alpine

- Heavy Timbers
- Taller, narrower windows
- Shutters
- Steeply pitched roof and dormers
- Entries are recessed within an alcove or portico

English Cottage

- Steeply pitched roof and dormers
- Entry to be recessed within an alcove or covered by a portico
- Windows to be square or rectangular
- Natural materials preferred; however, synthetic materials that resemble natural products may be selected.

Corner Lots

All corner lot homes must pay special attention to front, side and rear elevation treatment; and include a specified amount of detailing. Corner lot elevations should show the location of electric and gas meters. If possible, these meters should be on the rear of the home, or on non-flankage sides of the house. All other vents are to be painted to match home cladding.

All Rear Lane Product (R-1SL) corner homes (at the end of the block or flanking MR) will require rear garages to be built at the same time as home construction. Garages will require architectural details and exposed elevations must be submitted at the same time as the home. All garage materials must be consistent with materials used for the home.

Side yard setback on corner lots shall be a minimum of 3.0 m on the street side of a corner.



Open Space Lots

Green site lines have been carefully planned in Ravenswood's design. All lots that side onto a walkway, or an open space, require upgraded treatment to the front, side and rear elevations due to increased level of visibility.

Windows

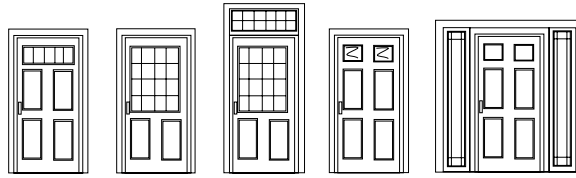
A variety of windows may be used in Ravenswood; design, size, shape and grids must be consistent with the style of home. Window grids will be required on all street-facing openings.

Refer to appendix for details.

Entrances

Only aluminum, fiberglass or upgraded designer wood entry-slab doors will be accepted. Upgraded doors must be consistent with the home style and are subject to approval. Transom windows or side lights are optional. Window lights and transoms must be consistent

with windows on front elevation of home. Sliding patio doors visible from streets, or open spaces, will not be accepted; nor will sunburst windows in the front door be accepted.

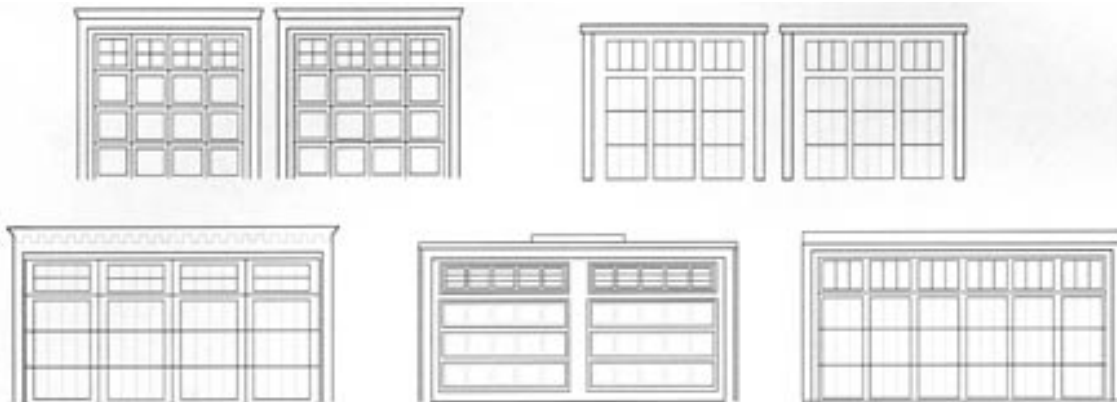


Garages/Garage Doors

Specific home sites in Ravenswood are required to have, at a minimum, a double attached front drive garage. Minimum acceptable garage width is 18 ft. Maximum space between overhead garage door and soffit line is 400 mm (16 in). Maximum garage door height is 8 ft.

Maximum setback from garage front to porch front is 12 ft.

Upgraded garage doors, with or without windows, will be required in Ravenswood. Garage doors are to be painted to match main home cladding colour. If a wooden door or designer garage door is chosen, a complimentary colour may be used. Garages are located on lots as per the overall subdivision plan. Paired single garage doors are encouraged.



Acceptable window styles are square or rectangular only; no sunburst patterns.

Driveways and Sidewalks

Driveways must not exceed a 1:10 slope. Driveways and front sidewalks on attached, front-drive garage homes are to be constructed of concrete with a broom finish, as a minimum.

All walkways are to be poured concrete and a minimum of 30 in wide.

Columns

Column proportion and style shall coincide with the style of home submitted. Balconies on front elevations are encouraged, in order to provide variable streetscapes.

Refer to appendix for details.

Fireplaces, Cantilevers, Chimneys, Flues and Roof Vents

All fireplaces and cantilevers must be a design element on corner or view lots. Second storey cantilevers will not be accepted on corner or view lots. All chimneys and flues visible on front or side elevations are to be boxed in and, at a minimum, clad with matching siding material; capping detail required. All roof stacks, vents and flashing on a visible elevation must be painted to match roof colour.

Rear Decks

When the main floor deck is greater than 1.0 m above finished grade on visible lots, the main floor deck is required to be constructed at the same time as the home. The minimum projection for the main floor deck from face of the home is 2.0 m and the minimum length of the deck is 3.0 m. Flat rear elevations are unacceptable.



Three-storey clear rear elevations are not permitted. A 600 mm minimum roof offset *from face of one floor level to face of the next floor* is required, so as to cover a minimum of one-third width of the home.

Second floor decks are required to be constructed at the same time as the home.

Materials

Cladding and decorative materials should be dictated by architectural style of the home.

Siding:

The following siding manufacturers and colors have been selected for Ravenswood. Trim colours should both contrast and compliment the home style.

TimberCrest Plus Premium Colours

Brick	Cobalt	Umber	Evergreen
Charcoal	Heritage Gray	White	Prairie Wheat
Sandstone	Khaki	Classic Linen	Pecan
Clay			

Colorscapes Colours

Wicker	Pebble Clay	Country Green	Rustic Red
Charcoal Grey	Natural Cedar	Heritage Blue	Chesapeake Green
Sage	Vintage Cream	Linen	

Sentry Colours

Annapolis Blue	Heritage Tan	Academy Grey	Richmond Red
Grenadier Green	Khaki Brown	Aviator Green	Chestnut Brown

Vytec Expressions Colours

Redwood	Harbour	Forest	Shoreline
Smokestone			

Canaxel Colours

Pine Forest	Acadia	Country Red	Sierra
Yellowstone	Cedar	Midnight Blue	Sage Green
Scotia Blue	Matte Grey	Sand	Almond
White			

Gentek Sequoia Select

Venetian Red	Harvest Wheat	Dark Drift	Saddle Brown
Moonlit Moss	Midnight Surf	Windswept Smoke	

Masonry

Brick and stone are encouraged to enhance the style of the home. A minimum amount of detailing is required, as determined by the Architectural Assurance Committee, for approval. The minimum amount of masonry required on a home includes masonry to the top of the garage door, with a return of 2 ft around the corner of the garage and capping detail. Stone choices must coordinate with the home style. For example, River Rock will not be accepted on Colonial designs.

Recommendations:

Craftsman – Brick, Ledge, Villa, Stack, Rubble, Drystack & Castle

Prairie – Brick, Ledge, Rubble & Castle

Colonial – Brick, Rubble & Castle

Tudor – Fieldstone, Castle, Villa & Rubble

Alpine – River Rock & Fieldstone

English Cottage – Brick, Fieldstone, Rubble, Castle & Villa

*or equivalent by competing manufacturers

Roof Design, Materials and Colours

Preferred roof overhang is 24 in on main rooflines; however, a minimum of 16 in on main rooflines and a minimum of 6 in on boxed out or bay windows may be accepted, subject to compatibility with house design. For example, Prairie designs will require a minimum 24 in, but 36 in would be encouraged. Colonial designs may have 12 or 24 in overhangs.

The minimum slope of 4:12 on porch-shed roofs may be used.

Roof material is to be equal or better than IKO Cambridge Dual Black (minimum 25 year).

Soffit, Fascia, Gutters and Downspouts

Soffit and fascia are to be pre-finished, with soffit overhangs a minimum of 300 mm (12 in) on side gables and 150 mm (6 in) on front gables. Downspout location should never be on the front elevation face of the home but rather to the side. All downspouts visible from the front must be indicated on front elevation drawings.

Parging

Maximum amount of visible parging allowed is 400 mm (16 in) around foundation walls.

LANDSCAPING, GRADING AND SITE PREPARATION

Lot Grading

Lot design grades are determined according to City of Airdrie Bylaw. Grade should always slope away from the house at a minimum of 5%. At no point on the lot should grade exceed a 3:1 slope. When rear grade elevation is higher than house grade, swales should be constructed to direct drainage away from the house; swales should be placed approximately 10 ft from the house and must be graded to at least a 2% slope.

All lots requiring concrete swales along the side of a home will also require a minimum of 1.8 m side yard, as per QC policy. No window wells allowed along the side where concrete swales are located.

Fences

Fencing must comply with City of Airdrie Bylaws.

Landscaping

Topsoil to be provided on all lots to a minimum depth of 8 in. Each lot is provided with either two trees or a shrub package, planted in the front yard, once the lot has been graded and loamed and the home is occupied. Homeowners will be given at least 2 days between letter notification and tree planting, so that they can call for information and choices; homeowners have a choice of trees from a list made available from Wilco Landscaping Contractors Ltd.

Retaining Walls

All retaining walls shall be constructed to compliment exterior home design, finish and lot landscaping; retaining walls to be made of materials such as brick, stone or simulated stone with a finished cap. Retaining walls ought to be uniform in design and construction, ensuring consistency of appearance within Ravenswood.

DESIGN REVIEW PROCESS

The architectural approval process is completed online via discoverq.ca. Access to the program is limited to authorized builders and their personnel. Training, user ids and passwords are provided by Qualico Communities; please contact the QC Administrator to add new personnel to the database.

Upon receipt of a signed, sealed contract and deposit funds for a lot, the architectural submission process follows this sequence in Discover Q:

- 1) Sales associates enter purchaser/spec information
- 2) Construction supervisor submits initial inspections, with photos, online
- 3) Sales associates reserve colours
- 4) Designers enter approval request
- 5) Approval/rejection returned to designer digitally
- 6) Final Inspection entered when construction complete
(Approximately 244 days)

Architectural submissions must be submitted in PDF format. A complete set of construction house plans and plot plan are required (submitted as two separate files).

The plot plan, drawn to scale (1:200 metric), requires the following information:

- All corner lot grades
- Right of ways (ROW) and easement locations
- Lot dimensions
- Location of all surface furniture
- Proposed landscape grades at all corners of the house, garage and side grades
- Proposed percentages, drainage patterns, swales for front, side and rear yards
- Proposed actual top of footings (ATF), subfloor (SF), under subfloor (USF), lowest top of footings (LTF) and ponding elevations (MG-RMG), if affected
- Driveway and parking pad (include material choice)

House approval forms are available on Discover Q; all fields are required to be completed prior to proceeding with the approval process, as failure to do so will result in rejection of the submission.

The Architectural Assurance Committee reserves the right to revise these guidelines from time to time, refuse a colour combination, house siting and house detail and/or style if it does not coordinate with the area theme, as per the committee's standards.

Need Help with Approvals?

QC's Architectural Assurance Committee is committed to assisting builders with their architectural approval. General questions that may arise during the Approval process or questions regarding colours, plotting, etc. should be directed to an Architectural Assurance Coordinator.

APPENDIX

Craftsman Details:



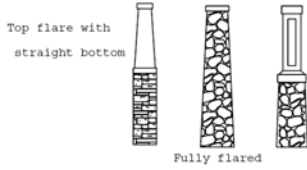
Vertical siding with bracket details



Shakes with brackets



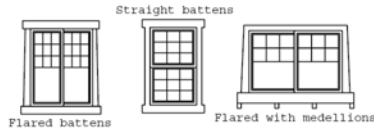
Flared columns with varying style of shake detailing



Top flare with straight bottom

Fully flared

Bottom flared



Straight batters

Flared batters

Flared with medallions



Centred straight entrance



Curved verandah detail



Offset entrance

Colonial Details:



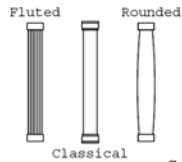
Pilasters with broken pediments



Centered gabled with fluted columns



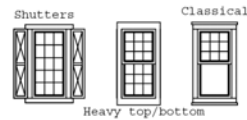
Portico with curved underside



Fluted

Rounded

Classical



Shutters

Classical

Heavy top/bottom

Dentil molding in gables



Centered dormers with symmetrical window placements



Triple shadow board



Prairie (Foursquare) Details:



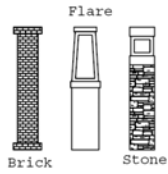
Dormers



Variety of material



Simple gable treatments



Brick

Stone



Varied window batten treatments



Simple front verandah details



Centred front entrance



Offset front entrance

Tudor Details:



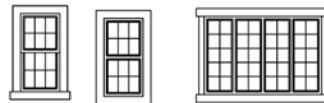
Stoned portico



Solid stucco verandah



Mixed product entrance



Clean simple batten details



Variety of rafter treatments

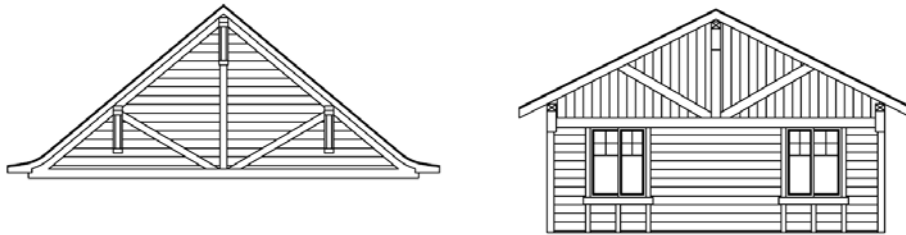


Brick/stone strongly encouraged.

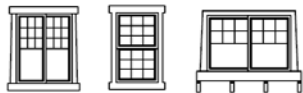


Variety of rafter treatments

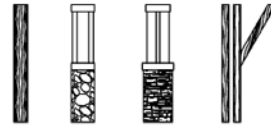
Alpine Details:



Adornments include exposed beam ends, heavy wood trusses and substantial fascia boards and trims



Window trim should include beam ends, balance sash and wide trims



Timber framed style columns with predominately River Rock stone

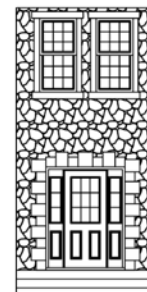
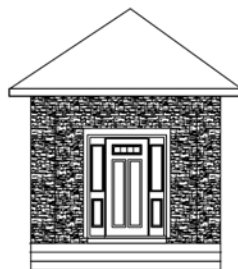
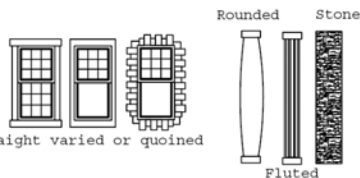


Featuring wood and stone materials, vertical board, wood railings and batten or wide horizontal siding is typical

English Cottage Details:



Gable treatments Shakes or Stone



Stone or Brick front entrances or Porticos